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## Planning Commission Study Session

**TO:** PLANNING COMMISSION / DESIGN REVIEW BOARD

**FROM:** SYDNEY BETHEL, PLANNER II *SdB*  
(480) 503-6721, SYDNEY.BETHEL@GILBERTAZ.GOV

**THROUGH:** CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *chl*  
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

**MEETING DATE:** DECEMBER 4, 2019

**SUBJECT:** DR19-175, MESA CUSTOM MACHINING CORP

**STRATEGIC INITIATIVE:** Exceptional Built Environment

To allow for the expansion of an existing industrial building.

### **REQUEST**

DR19-175, Mesa Custom Machining Corp: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 2.4 acres, generally located at 1640 West Sunrise Boulevard, and zoned Light Industrial (LI) with a Planned Area Development (PAD) overlay.

### **RECOMMENDED MOTION**

Request for input only. No motion required.

**APPLICANT**

Company: FINN Architects, LLC  
 Name: Steven Nevala  
 Address: 1810 W. Loemann Dr.  
 Queen Creek, AZ 85142  
 Phone: (480) 206-8229  
 Email: steven@finnarchitects.com

**OWNER**

Name: Dale Carpenter  
 Address: 1640 W. Sunrise Blvd.  
 Gilbert, AZ 85233  
 Phone: (480) 497-8882  
 Email: dale@mesacustom.com

**BACKGROUND/DISCUSSION****History**

<b>Date</b>	<b>Description</b>
<i>March 24, 1987</i>	Town Council adopted Ordinance No. 507 (Z86-53), changing the zoning districts from Planned Shopping Center-1 (PSC-1), Duplex (R-2) and Townhouse (R-5) to Planned Area Development (Garden Industrial and Light Industrial) to allow for the development of business/industrial park.
<i>August 11, 1987</i>	Town Council approved the final plat for Sunrise Business Park (S162).
<i>April 4, 1989</i>	Town Council adopted Ordinance No. 627 to modify a condition of approval relating to construction timelines to allow for a time extension, amended Ordinance No. 507 (Z88-24).
<i>April 16, 1991</i>	Town Council adopted Ordinance No. 706 to modify a condition of approval relating to construction timelines to allow for a time extension, amended Ordinance No. 627 (Z88-24).
<i>December 14, 1995</i>	The Design Review Board approved the existing building on the subject site under DR95-55, Mesa Custom Machining.
<i>July 19, 2007</i>	The Design Review Board approved an addition to the existing building under DR07-39, Mesa Custom Machining, which is now expired.

**Overview**

The applicant is proposing to build an 11,841 sf expansion on a developed 2.4 acre site with an existing 14,795 sf industrial building, housing Mesa Custom Machining Corporation, a manufacturing business within Sunrise Business Park. The existing building was approved under DR95-55, along with the currently proposed addition. The existing building and site improvements were constructed in the 90s, but the second phase/building expansion was never constructed. The original building was approved under the prior Unified Land Development Code (ULDC). However, the expansion was reviewed under the Land Development Code (LDC) and must follow the current standards. The subject site is zoned Light Industrial (LI) with a Planned Area Development (PAD) overlay and is located west of the northwest corner of McQueen Road and Sunrise Boulevard, at 1640 West Sunrise Boulevard.

**Surrounding Land Use & Zoning Designations:**

	<b>Existing Land Use Classification</b>	<b>Existing Zoning</b>	<b>Existing Use</b>
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North	Public Facilities/ Institutional (PF/I)	Public Facilities/ Institutional (PF/I)	Western Canal
South	Light Industrial (LI)	Light Industrial (LI) with PAD	Sunrise Blvd then Office/Warehouse Buildings (Lots 3 & 4)
East	Light Industrial (LI)	Light Industrial (LI) with PAD	Office/Warehouse Buildings (Lot 7)
West	Light Industrial (LI)	Light Industrial (LI) with PAD	Office/Warehouse Buildings (Lot 9)
Site	Light Industrial (LI)	Light Industrial (LI) with PAD	Mesa Custom Machining Corporation (Lot 8)

### **Project Data Table**

<b>Site Development Regulations</b>	<b>Required per LDC and Ord. No. 507</b>	<b>Proposed</b>
Building Area	-	14,795 sf Existing Building 11,841 sf New Addition 26,636 sf Total Building Area
Maximum Building Height (ft.)/(Stories)	55’/3 Stories	26’ /1 Story
Minimum Building Setback (ft.)		
Front (Collector or Local)	25’	25’
Side (Employment)	0’	0’
Rear (Commercial/Office/Public Facility/Institutional)	15’	15’
Minimum Required Perimeter Landscape Area (ft.)		
Front (Collector or Local)	20’	20’
Side (Employment)	5’	5’
Rear (Commercial/Office/Public Facility/Institutional)	15’	15’
Landscaping (% of net lot area)	-	22%
Off-Street Parking and Loading	Manufacturing 1/500 sf Warehouse 1/1000 sf	Existing 59 Spaces Required 53 Spaces
Bicycle Parking	1 per 10 required parking spaces	Provided 8 spaces Required 6 spaces

### **DISCUSSION**

The project recently completed first review and staff comments have been provided to the applicant.

#### **Site**

The subject site has two (2) existing points of access, both located off Sunrise Boulevard. The parking stalls, drive aisles, refuse and site amenities are all existing on the site. The location for the proposed building is currently a vacant pad, abutting the existing building in the center of the site. In addition to the construction of the 11,841 sf building expansion, additional items such as

sidewalks, sidewalk ramps, bike racks, and landscaping will be built within the limits of construction for the addition. The expansion is for the existing business, Mesa Custom Machining Corporation, which is a manufacturing business that includes office, warehouse and manufacturing uses. The expansion will only include warehouse and manufacturing uses.

### **Landscape**

A majority of the landscaping for the subject site is existing from the first phase of the development. The only new landscaping proposed is foundation landscaping located on the south and west sides of the building expansion. The landscape palette proposed included Chinese Elm, Green Cloud, Red Yucca, and 'Gold Mound' Lantana. All landscaping proposed either matches or complements the existing landscaping.

### **Grading and Drainage**

The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division. The Preliminary Grading and Drainage Plan has minor outstanding comments from the Engineering Division that must be addressed.

### **Floor Plan**

The existing building is 14,795 sf, which includes 1,369 sf of office, 11,822 sf of manufacturing, and 1,604 sf of warehousing. The proposed addition is 11,841 sf, which includes 10,641 sf of manufacturing and 1,200 sf of warehousing. There is one (1) point of internal access from the addition to the existing building located on the southeastern side of the floor plan. A garage bay is included in the rear of the building with the garage entrance on the east side; an additional roll-up door is provided on the west elevation. Once the addition is constructed, the total building area will be approximately 26,636 sf.

### **Elevations, Colors and Materials**

The proposed addition is one story, approximately 26' tall. The building was designed in a similar manner to the existing building with the continuation of horizontal color and material banding, as well as varying parapet rooflines and pop-outs that will seamlessly tie into the existing building façade. The applicant has selected colors that are similar to the approved colors on the existing building, which include two (2) shades of gray and a blue accent color. The darker grey, Dunn Edwards Shining Knight, is primarily utilized on the top third and bottom third of the building with the central portion containing the lighter grey, Dunn Edwards Silver Springs. The blue accent color, Dunn Edwards Diver Straits, is used as an accent in a banded design at the top and bottom of the building. The primary materials for the building include smooth face CMU, smooth face triple score CMU, single score CMU, and single score split face CMU. The block material selected is also comparable to the existing building.

### **Lighting**

There are only two (2) lighting types proposed, building mounted and downlights. The building mounted are located around the exterior of the building with the downlights located at the building entrance. The building mounted lights are located at 16' on the building. Per LDC 4.103. A.4., wall-mounted fixtures shall be a maximum height of 14 feet above grade, measured to the bottom of the light source. The applicant is aware of the requirement, as it was addressed in the first review comments. All site lighting will be required to comply with Town codes.



**Signage**

Signage is not included in this approval. Administrative Design Review approval is required prior to permitting.

**PUBLIC NOTIFICATION AND INPUT**

The proposed project will not require public notice as specified under Land Development Code (LDC) Section 5.602. A.3.

If after Study Session, the project has addressed all review comments and those brought forth by the Planning Commission, the project may qualify for an administrative approval.

Per LDC Section 5.602.B.m., projects that do not require public notice yet require approval by the Planning Commission/ Design Review Board may be approved administratively after the project is discussed by the Planning Commission/ Design Review Board at a Study Session and final exhibits meet review comments for code requirements. Per LDC Section 5.602.A.3.b, commercial, office, and employment buildings on sites, lots, or parcels of less than 5 acres within an approved nonresidential subdivision or preliminary site plan do not require public noticing.

**REQUESTED INPUT**

1. General site design feedback;
2. Approving the project administratively after all comments are addressed.

Respectfully submitted,

Sydney Bethel  
Planner II

**Attachments and Enclosures:**

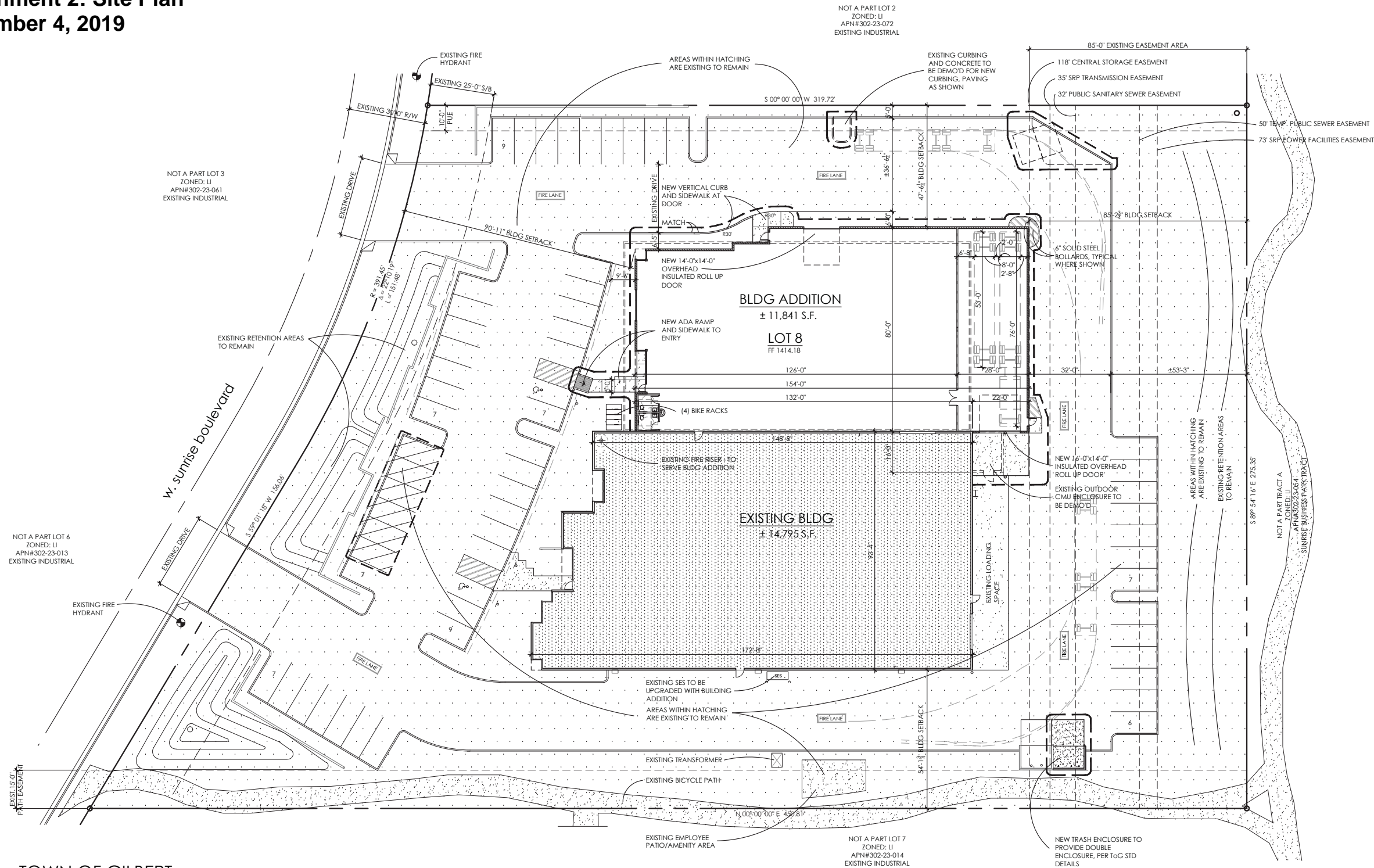
- 1) Aerial Photo
- 2) Site Plan
- 3) Master Site Plan (DR95-55)
- 4) Landscape
- 5) Grading and Drainage
- 6) Colors and Materials
- 7) Elevations
- 8) Floor Plans
- 9) Lighting
- 10) Existing Building Reference Photos



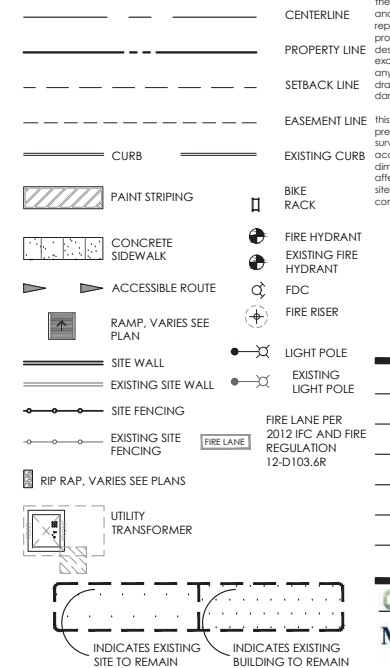


**DR19-175 Mesa Custom Machining Corp**  
**Attachment 2: Site Plan**  
**December 4, 2019**

## A1.1



## LEGEND



architectural design, conception and data presented herein represents an instrument of service provided in connection with the design build agreement for the exclusive use of FINN architects, llc. Any other use or release or these drawings may result in civil damages.

plan/site plan has been prepared without the benefit of a survey. depictions may not be accurate or fully reflect all dimensions, data, etc., which may affect the design and usability of this plan. all design shown here is strictly conceptual.

july 10, 2019
schematic design
august 05, 2019 - r2
schematic design
august 22, 2019
pre-application
october 16, 2019
drb application

**EMERALD INC.**  
DESIGN. BUILD. INNOVATE

**MESA CUSTOM  
MACHINING CORP.**

## PROJECT DATA

SCOPE: NEW BUILDING ADDITION  
 ADDRESS: 1640 W. SUNRISE BLVD, PHOENIX, AZ  
 APN: 302-23-015  
 SITE AREA: +/-106,560 S.F. (+/-2.44 AC.)  
 ZONING: LI  
 LOT COVERAGE: 24.9%  
 LANDSCAPE COVERAGE: 35.7% +/- 38,125 S.F.(existing)  
 BUILDING AREA: +/-26,636 S.F.  
 BUILDING FOOTPRINT: +/-26,636 S.F.  
 STORES: (1) STORY  
 CONSTRUCTION TYPE: W-B/W A.F.E.S.  
 OCCUPANCY: B / F-1 / S-1  
 ALLOWABLE AREA: "34,000 S.F. > 26,636 S.F. - OK  
 \* (most restrictive - S1 - F) occupancy - table 506.2)  
 CLEAR HEIGHT: 16'-0"  
 BUILDING HEIGHT: 26'-0"  
 PARAPET SCREENING: 50' PARAPET WALLS

## BUILDING AREA

<u>AREA</u>	<u>GROUND FLOOR</u>
OFFICE	1,369 S.F. (EXISTING BLDG)
EXISTING MANUF.	11,822 S.F. (EXISTING BLDG)
EXISTING W/H	1,604 S.F. (EXISTING BLDG)
SUBTOTAL:	14,795 S.F.

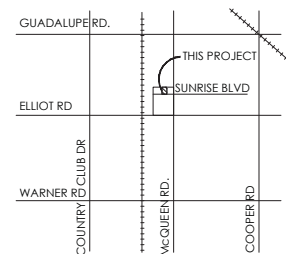
NEW MANUF.	10,641 S.F. (NEW ADDITION)
NEW W/H	1,200 S.F. (NEW ADDITION)
SUBTOTAL:	26,636 S.F.

## PARKING DATA

USE	S.F.	RATIO	REQUIRED
OFFICE	1,369 S.F.	1/250	5
MANUFACTURING	22,463 S.F.	1/500	45
WAREHOUSE	2,804 S.F.	1/1,000	3

TOTAL REQUIRED:	53
TOTAL PROVIDED:	59
(2 ACCESSIBLE/57 STANDARD)	
(4 BIKE RACKS PROVIDED)	

## VICINITY MAP



mesa custom machining corp.

1840 West Sunrise Boulevard,  
gilbert, arizona

● PRE-APP-PA19-84



## TOWN OF GILBERT

STANDARD COMMERCIAL AND INDUSTRIAL SITE PLAN NOTES

- |   |  |  |   |   |
|---|--|--|---|---|
| <p>1. ALL UTILITY LINES LESS THAN 49 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDERGROUND.</p> <p>2. ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE ALLEYS. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL TRACTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.</p> <p>3. ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 6' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS MAY BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.</p> <p>4. S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:</p> <p>A. FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET;</p> | <p>B. SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET.</p> <p>C. AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.</p> <p>D. THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.</p> <p>6. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:</p> <p>A. THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS; OR</p> <p>B. BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANE IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.</p> <p>7. ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.</p> | <p>8. GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN OR DECIDUOUS TREE OF EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.</p> <p>9. PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:</p> <p>A. ENCLOSED IN PLASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR</p> <p>B. ROUTED UNDERGROUND.</p> <p>10. ALL BACKFLOW PREVENTION DEVICES 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE GAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.</p> <p>11. ALL FREESTANDING LIGHT POLES SHALL:</p> <p>A. BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.</p> <p>B. HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.</p> <p>C. BE LOCATED TO AVOID CONFLICT WITH TREES.</p> | <p>12. SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.</p> <p>13. LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNTED AND NATURALLY CONTAINED, NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.</p> <p>14. COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.</p> <p>15. COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANTE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.</p> | <p>16. CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SPACES SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.</p> <p>17. ALL EXTERIOR MATERIAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.</p> <p>18. EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.</p> |
|---|--|--|---|---|



site plan

scale: 1"=20'-0"

scale: 1"=20'-0"

**FINN** architects, llc  
finnarchitects.com

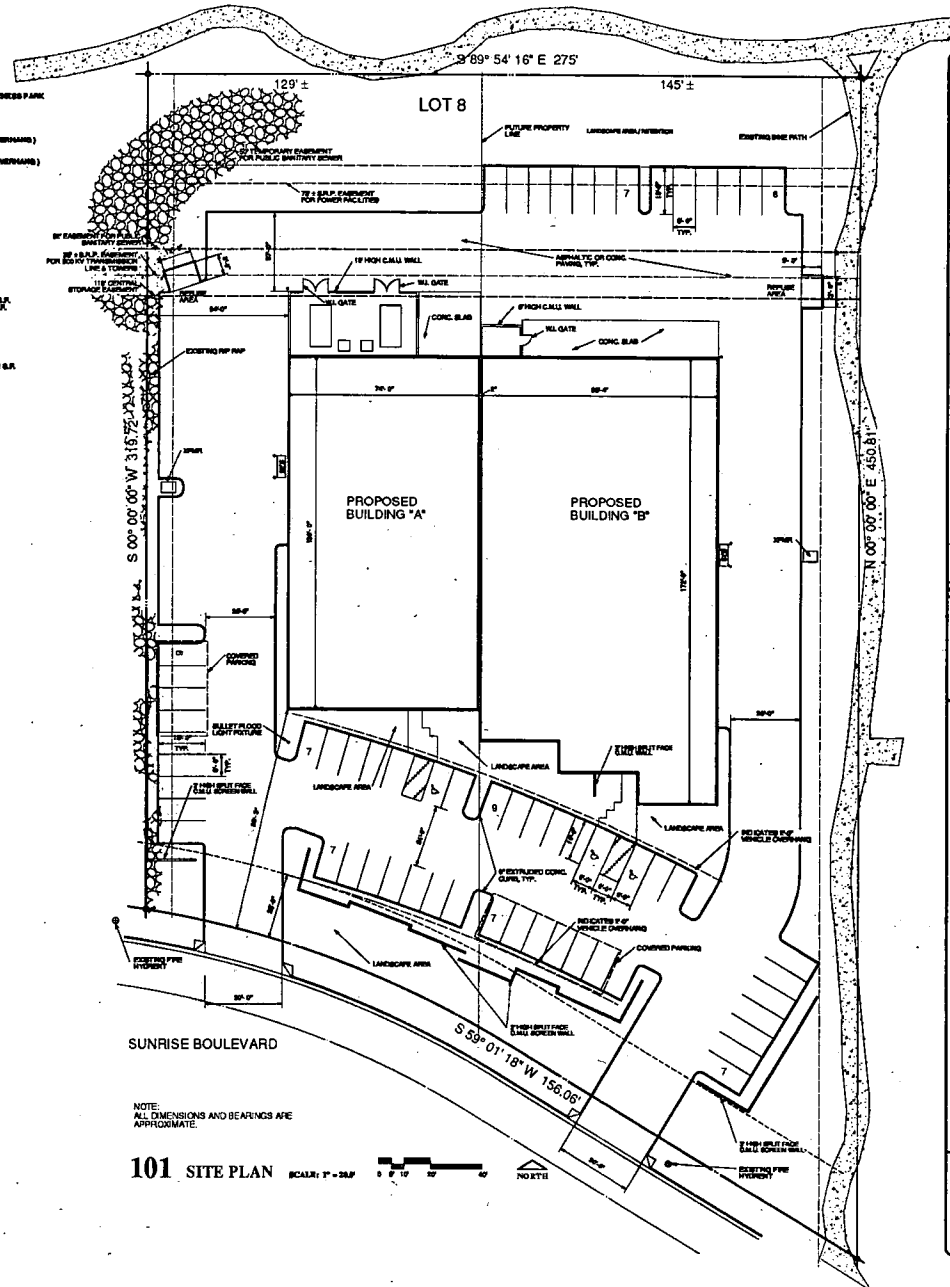
1810 west loemann drive, queen creek, arizona 85142 (480-206-8229)

DR19-175 Mesa Custom Machining Corp  
Attachment 3: Master Site Plan (DR95-55)  
December 4, 2019

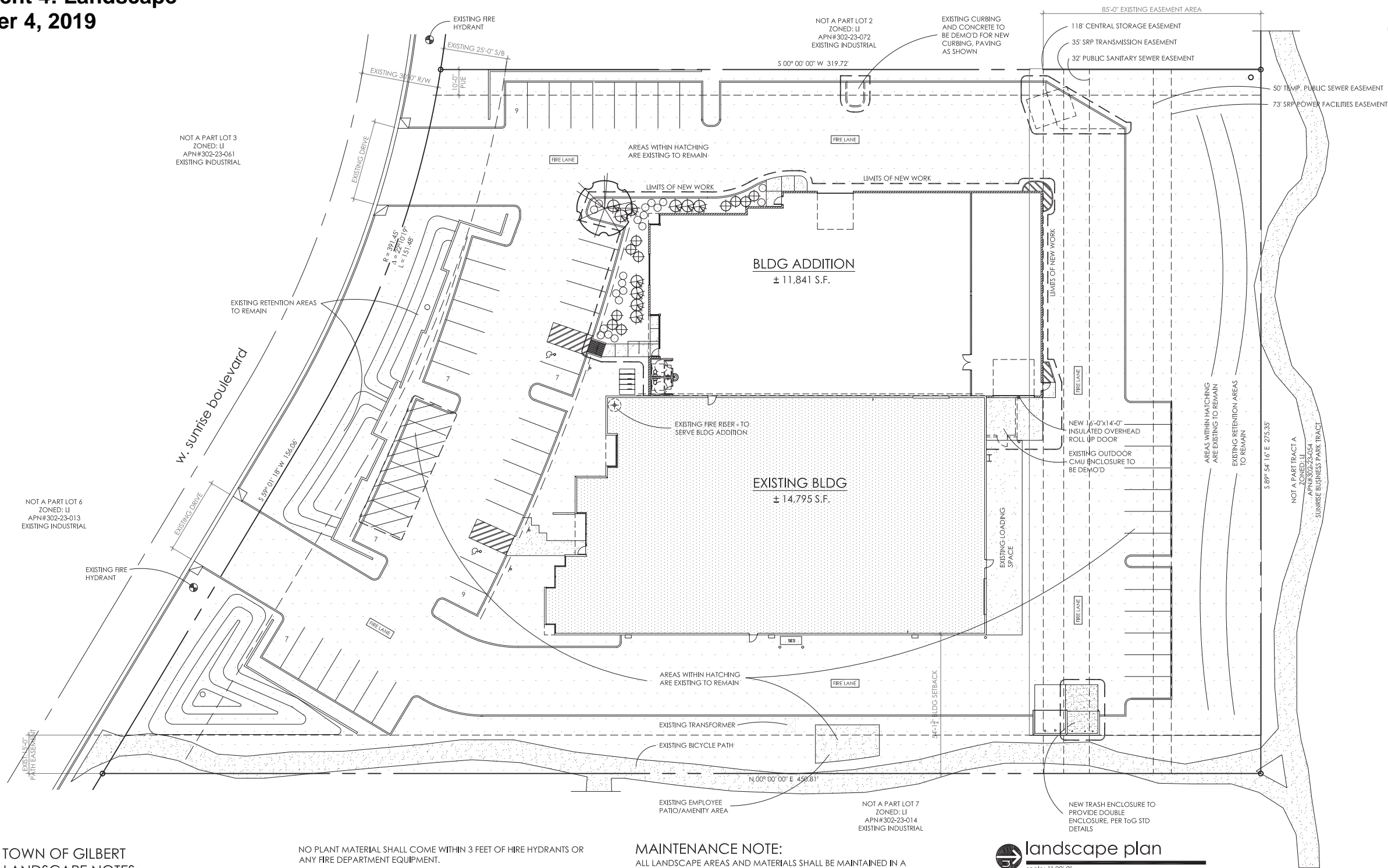
55

PROJECT DATA

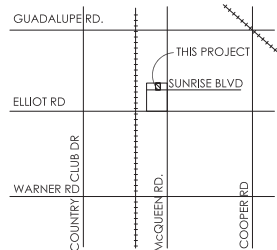
LEGAL DESCRIPTION: LOT 8 OF SUNRISE BUSINESS PARK  
LOT AREA: 145,000 S.F.  
BUILDING AREAS:  
BUILDING A: 8,500 S.F. (15,000 S.F. WITH OVERHANGS)  
OFFICE AREA: 8,500 S.F.  
BUILDING B: 14,700 S.F. (14,000 S.F. WITH OVERHANGS)  
OFFICE AREA: 14,700 S.F.  
PARKING REQUIRED:  
BUILDING A: 85 V.P. = 200 ± S.F.  
BUILDING B: 147 V.P. = 367 ± S.F.  
TOTAL REQUIRED: 512  
TOTAL PROVIDED: 512  
TOTAL PARKING REQD: 512 ± S.F. = 512  
PARKING PROVIDED: 512 (1 ACCESSIBLE)  
LANDSCAPE AREA REQUIRED:  
10% OF TOTAL BUILDING AREA  
BUILDING A: 850 S.F. (10%) = 850 S.F.  
BUILDING B: 1,470 S.F. (10%) = 1,470 S.F.  
TOTAL: 2,320 S.F.  
8% OF LOT AREA  
(145,000 S.F. x .08) = 11,600 S.F.  
LANDSCAPE AREA PROVIDED:  
LANDSCAPE AREA ON SITE: 10,000 S.F.  
LANDSCAPE AREA TO BE PROVIDED: 1,600 S.F.  
TOTAL LANDSCAPE AREA: 20,000 S.F.



Project no. 0795 drawing no. <b>DR 1</b> of	NEW FACILITIES FOR <b>MESA CUSTOM MACHINE &amp; ANOTECH CORP.</b> BY <b>LGE CORPORATION</b>			Prepared by: [Signature] Checked by: [Signature] Approved by: [Signature] Date: [Date] Title: [Title]
	diemer • associates / architecture • planning ltd. 4636 east university dr., suite 250 • phoenix, arizona 85034 • (602)894-0888			



VICINITY MAP



LANDSCAPE LEGEND

- 
- 
- 
- 

1/2\"/>

LANDSCAPE CALC'S.

OFF-SITE LANDSCAPE: 3,227 SQ.FT.  
ON-SITE LANDSCAPE: 23,622 SQ.FT.  
TOTAL LANDSCAPE: 26,849 SQ.FT.  
PERCENT LANDSCAPE: 22%

TOWN OF GILBERT  
LANDSCAPE NOTES:

A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. A CD IN PDF FORMAT AS-BUILTS ARE ALSO REQUIRED.

BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED. THE DEVICE MUST BE TESTED BY A STATE CERTIFIED TESTER, AND THE RESULTS FORWARDED TO THE TOWN OF GILBERT'S BACKFLOW SPECIALIST. THE TOWN OF GILBERT WILL PROVIDE AN UP-TO-DATE LIST OF STATE CERTIFIED TESTERS. ALL RELATED TESTING FEES SHALL BE AT THE EXPENSE OF THE INSTALLER.

DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HEREIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY, AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND REMADAS.

NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF FIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.  
NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 7 FEET MINIMUM CLEAR CANOPY.  
ALL TREES, SHRUBS AND GROUNDCOVERS SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION (ANA) SPECIFICATIONS.  
CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED.  
INSTALL ALL SIDEWALKS PER ADA REQUIREMENTS.

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL NEW AND EXISTING LANDSCAPE AREAS. GAGE, CONTROLLER, ASSOCIATED EXPOSED CONDUITS, AND ETC. SHALL CONFORM TO PREDOMINANT COLOR OF BUILDING.

ATTENTION:

THIS PLAN HAS BEEN REVIEWED FOR LANDSCAPE/IRRIGATION IMPROVEMENTS ONLY. A SEPARATE REVIEW AND PERMIT IS REQUIRED FOR STRUCTURES, ELECTRICAL, FENCES/WALLS, POOLS AND SIGNS. CONTACT THE BUILDING DEPARTMENT.

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

MAINTENANCE NOTE:

ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL BACKFLOW PREVENTION DEVICES SHALL MEET THE REQUIREMENTS OF THE TOWN OF GILBERT BACKFLOW PROTECTION ORDINANCE (#869) OTHERWISE KNOWN AS ARTICLE 7-14 OF THE TOWN OF GILBERT MUNICIPAL CODE: CROSS CONNECTION CONTROL (FOR ADDITIONAL BACKFLOW SPECS., SEE: GILBERT UNIFIED LAND DEVELOPMENT CODE APPENDIX).

ALL BACKFLOW DEVICE SHALL BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE AN UP-TO-DATE LIST OF CERTIFIED TESTERS FROM WHICH TO BE SELECTED. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.

landscape plan  
scale: 1\"/>

T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING

10450 N. 74th Street, Suite 120  
Scottsdale, Arizona 85258  
P. (602) 265-0320

EMAIL: timmcqueen@tjmla.net





- LEGEND**
- FOUND 3" TOWN OF GILBERT BRASS CAP IN HAND HOLE
  - FOUND 3" TOWN OF GILBERT BRASS CAP FLUSH
  - FOUND & ACCEPTED 1/2" REBAR AS NOTED
  - CALCULATED POSITION
  - SET 1/2" REBAR & CAP "RLS 57279"
  - STREET CENTERLINE
  - SUBJECT PROPERTY LINE
  - TIES
  - EASEMENT LINE
  - OHE OVERHEAD ELECTRIC
  - UGE UNDERGROUND ELECTRIC
  - SS SANITARY SEWER LINE
  - W WATER LINE
  - UGT UNDERGROUND TELEPHONE LINE
  - WALL
  - AREA OF DISTURBANCE

- M.C.R. MARICOPA COUNTY RECORDS  
R/W RIGHT OF WAY  
I/E INGRESS/EGRESS EASEMENT  
P.U.E. PUBLIC UTILITY EASEMENT  
L.E. LANDSCAPE EASEMENT  
(M) MEASURED  
(C) CALCULATED  
(R) RECORD (BOOK 314 OF MAPS, PAGE 47, M.C.R.)

- ELECTRIC TRANSFORMER  
ELECTRIC BOX / PANEL  
ELECTRIC J-BOX  
ELECTRIC TRANSMISSION TOWER  
WATER VALVE  
FIRE HYDRANT  
WATER METER  
IRRIGATION CONTROL VALVE / BOX  
BACKFLOW PREVENTER  
TELEPHONE J-BOX / VAULT  
CABLE TV J-BOX / VAULT  
VAULT - UNKNOWN UTILITY  
SANITARY SEWER CLEANOUT  
SANITARY SEWER MANHOLE  
STORM DRAIN GRATE  
GAS LINE WARNING MARKER  
HANDICAP RAMP  
BOLLARD  
SIGN  
MAILBOX

- DECIDUOUS TREE  
PINE TREE  
MESQUITE TREE

- CONCRETE

**MESA CUSTOM MACHINING  
PRELIMINARY GRADING AND DRAINAGE PLAN**

OF LOT 8, SUNRISE BUSINESS PARK, ACCORDING  
TO BOOK 314 OF MAPS, PAGE 47, M.C.R.  
A PORTION OF THE SOUTHEAST QUARTER OF SECTION 10,  
TOWNSHIP 1 SOUTH, RANGE 5 EAST  
OF THE GILA AND SALT RIVER BASE & MERIDIAN,  
MARICOPA COUNTY, ARIZONA

NOT A PART  
LOT 9, SUNRISE BUSINESS PARK,  
BOOK 314 OF MAPS, PAGE 47, M.C.R.  
(ALSO LOTS 1 & 2, CHERNECKI SUNRISE,  
BOOK 538 OF MAPS, PAGE 21, M.C.R.)

**SUBJECT PROPERTY  
LOT 8  
APN: 302-23-015**

**EXISTING BUILDING**

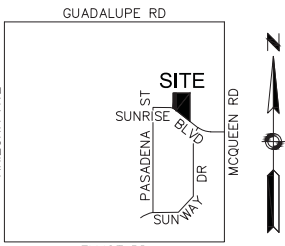
**KEY NOTES FOR  
CONSTRUCTION:**

- REMOVE TRASH ENCLOSURE AND CONCRETE.
- SAW-CUT AND REMOVE A SECTION OF CURBING AND INSTALL NEW ADA RAMP PER DETAIL ON SHEET C2.0. PARKING STRIPING AND ADA SIGNAGE PER ARCHITECTURAL PLAN.
- INSTALL 5' WIDE SIDEWALK, 4" THICK CONCRETE OVER 2" ABC AND COMPACTED SUBGRADE.
- MATCH EXISTING GRADE.
- SAW-CUT AND REMOVE EXISTING EXTRUDED CURB AND LANDSCAPE ISLAND.
- EXISTING CURB OPENING FOR DRAINAGE, NO REMAIN.
- INSTALL NEW 6" EXTRUDED CURB.
- INSTALL SINGLE REFUSE ENCLOSURE ADJACENT TO EXISTING TRASH ENCLOSURE FOR A DOUBLE TRASH ENCLOSURE PER

- T.O.G. GIL-181. REMOVE EXISTING ASPHALT AND PLACE TO MATCH EXISTING GRADE.
- INSTALL 3" A.C. ON 6" ABC, DRIVE AISLES. TYP.
- INSTALL 6" CONCRETE OVER 4" ABC ON TOP OF COMPACTED SUBGRADE.
- DEMO OUTDOOR CMU ENCLOSURE.
- EXISTING FIRE RISER TO SERVE BUILDING ADDITION.
- DOMESTIC WATER FOR NEW BATHROOMS TO TIE INTO EXISTING BUILDING FEED.
- SEWER TO SERVE NEW BATHROOMS TO TIE INTO SEWER WITHIN THE EXISTING BUILDING.
- GENERAL RETENTION NOTE: CONSTRUCTION DOES NOT CHANGE THE SIZE OF THE EXISTING RETENTION FACILITIES AS DESIGNED BY Z&H ENGINEERING, INC., GRADING PLAN APPROVED AND AS-BUILT UNDER PERMIT DR95-55, DATED 3/30/04 "AMD".

NOTES: THERE ARE NOT OFF-SITE IMPROVEMENTS AS PART OF THIS PLAN.

CURVE	RADIUS	Δ	LENGTH	TANGENT	(M)/(C)/(R)
C1	270.82'	30° 58' 44"	146.43'	75.05'	(C)
	270.640'	30° 58' 42"	146.33'	-	(R)
C2	361.20'	30° 56' 54"	195.10'	99.99'	(M)
	361.445'	30° 55' 48"	195.12'	-	(R)
C3	391.20'	08° 46' 36"	59.92'	30.02'	(C)
	391.445'	08° 45' 29"	59.84'	-	(R)
C4	391.20'	22° 10' 18"	151.38'	76.65'	(M)
	391.445'	22° 10' 19"	151.48'	-	(R)



**VICINITY MAP**  
NOT TO SCALE

**OWNER INFORMATION**

DALE AND CAROL CARPENTER TRUST  
1640 W. SUNRISE BLVD.  
GILBERT, AZ 85233

**PARCEL INFORMATION**

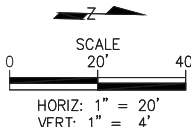
APN: 302-23-015  
ADDRESS: 1640 W. SUNRISE BLVD. GILBERT, AZ 85233  
AREA: 103,074 SQ. FT. / 2.36625 ACRES

**PROJECT BENCHMARK**

TOWN OF GILBERT BRASS CAP IN HAND HOLE (DOWN 0.4') BEING THE EAST 1/4 CORNER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 5 EAST AT THE INTERSECTION OF WESTERN CANAL AND MCQUEEN RD.  
GDACS PUBLISHED ELEVATION = 1218.11 (NAVD 1988 DATUM).

**SHEET INDEX:**

PRELIMINARY GRADING PLAN.....C1.0  
PROFILES AND DETAILS.....C2.0



REV NO.	COMMENT	DATE

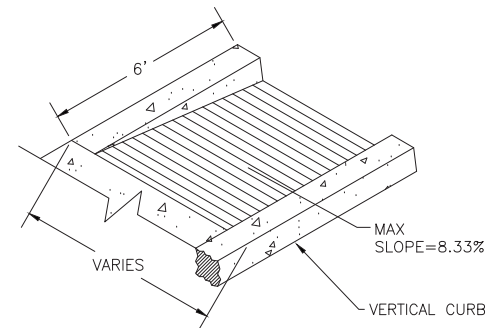
PO BOX 31964  
MESA, ARIZONA 85275-1964  
TEL: 480-489-4450  
EMAIL: Spencer@theSiteEngineers.com

MESA CUSTOM MACHINERY

1640 WEST SUNRISE BLVD  
GILBERT, ARIZONA 85233

PRELIMINARY GRADING AND DRAINAGE PLAN

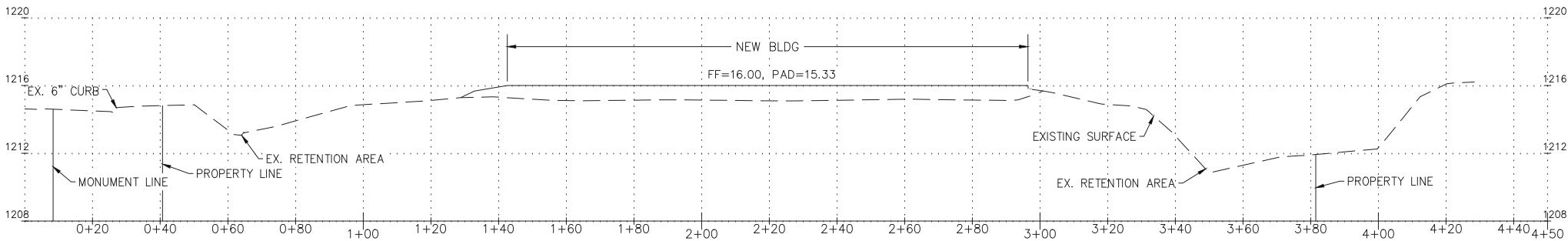
SE NO.	DESIGNED	DRAWN	CHECKED	SHEET NO.	
S190814	SJE	SJE	KLE	01 of 02	C1.0



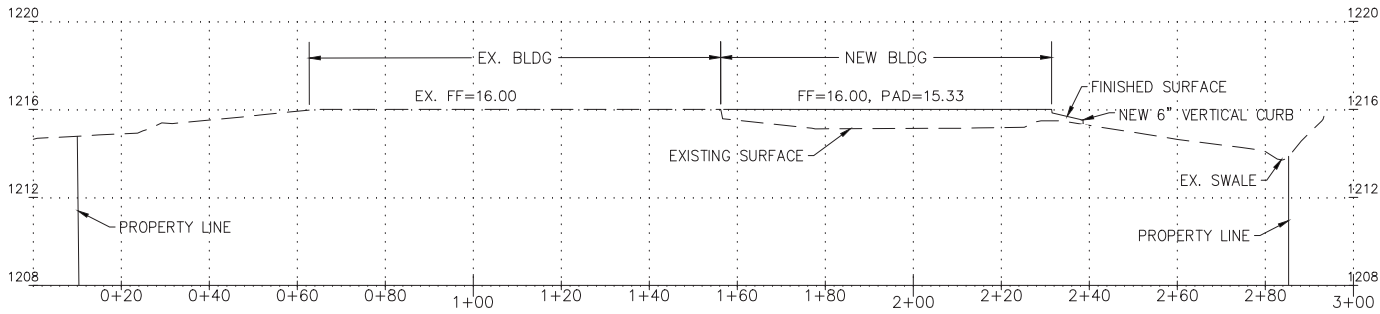
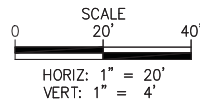
- RAMP NOTES:
1. CONCRETE TO BE 6" THICK MIN. IN ALL LOCATIONS.
  2. CURBING ADJACENT TO PAVEMENT TO BE INSTALLED PER VERTICAL CURB DETAIL.
  3. 1/4" GROOVES, 1/8" DEEP, AT 1" CENTERS - FULL FACE OF RAMP(S).

ADA ACCESS RAMP, TYPE A

N.T.S.





1 CROSS SECTION 1, NORTH SOUTH



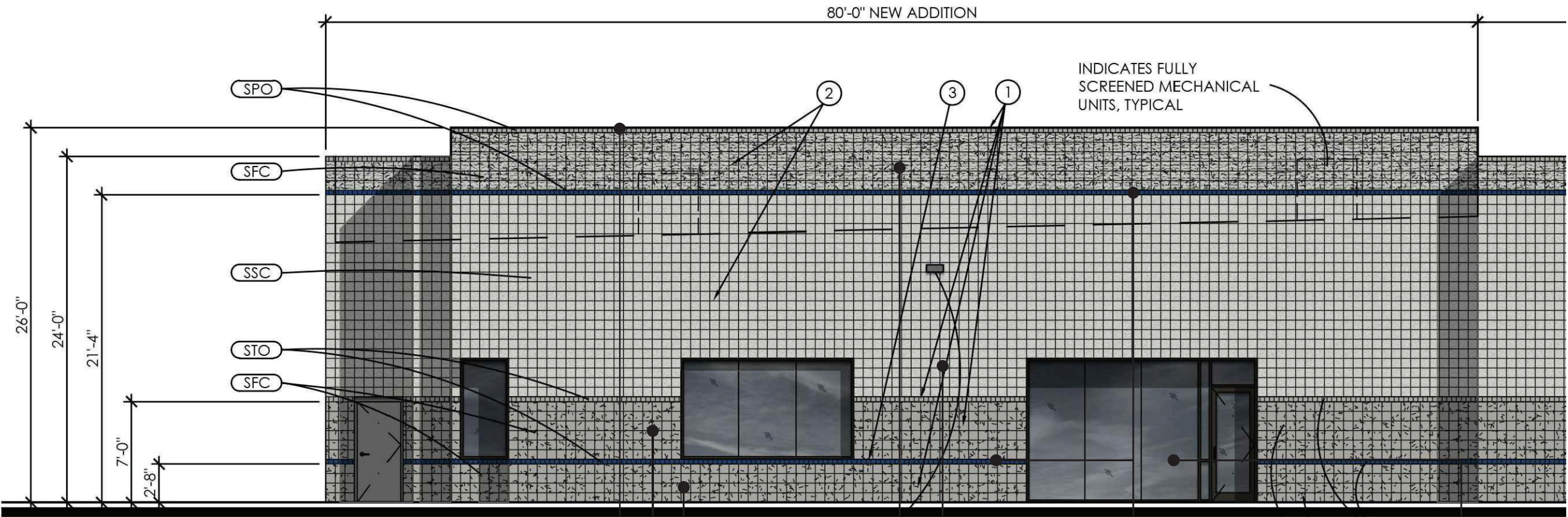
2 CROSS SECTION 2, EAST WEST



Know what's below.  
Call before you dig.

REV. NO.		COMMENT		DATE	
		 <b>SITE</b> ENGINEERS			
		PO BOX 31964 MESA, ARIZONA 85275-1964 TEL: 480-489-4450 EMAIL: <a href="mailto:Spencer@theSiteEngineers.com">Spencer@theSiteEngineers.com</a>			
MESA CUSTOM MACHINERY					
1640 WEST SUNRISE BLVD GILBERT, ARIZONA 85233 PRELIMINARY GRADING AND DRAINAGE PLAN					
SE NO. S190814	DESIGNED SJE	DRAWN SJE	CHECKED KLE	SHEET NO. 02 OF 02	C2.0



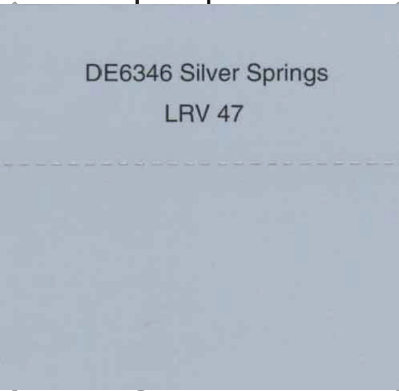


COLOR LEGEND

- ① DUNN EDWARDS - 'SHINING KNIGHT' DE6347
- ② DUNN EDWARDS - 'SILVER SPRINGS' DE6346
- ③ DUNN EDWARDS - 'DOVER STRAITS' DE5866



COLOR ① 'SHINING KNIGHT'  
DE6347 - DUNN EDWARDS



COLOR ② 'SILVER SPRINGS'  
DE6346 - DUNN EDWARDS



COLOR ③ 'DOVER STRAITS'  
DE5866 DUNN EDWARDS



ALUMINUM STOREFRONT - CLEAR  
ANODIZED GLAZING - TO MATCH  
EXISTING SYSTEM

1" INSULATED GREY REFLECTIVE  
GLAZING TO MATCH EXISTING  
COLOR/STYLE AND COMPLIANT  
WITH CURRENT I.E.C.C.

NOTE: THIS IS AN ADDITION TO THE  
EXISTING BUILDING AND  
COLORS/MATERIALS ARE TO  
MATCH THE EXISTING BUILDING AS  
NOTED HERE

mesa custom machining corp.

1640 w. sunrise boulevard,  
gilbert, arizona

FINN architects, llc

1810 west loemann drive, queen creek, arizona 85142

(480-206-8229)

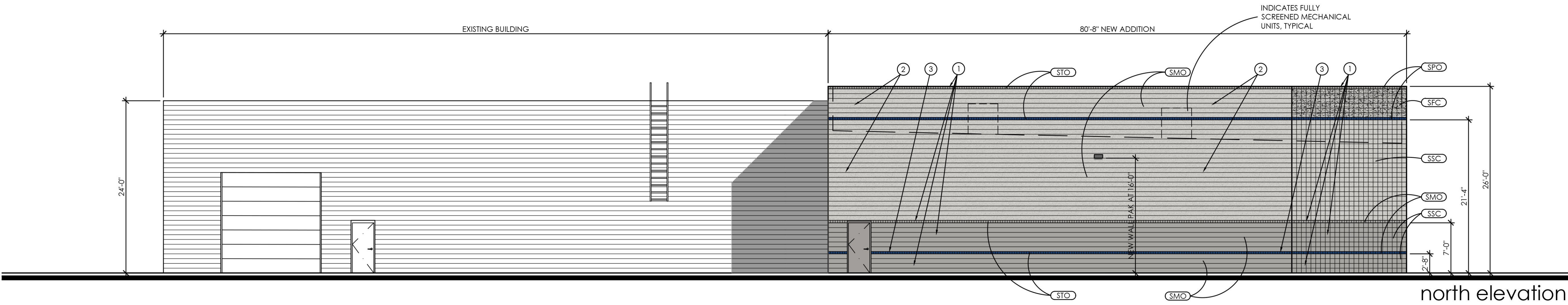
CB-1.1

july 29, 2019  
colorboard

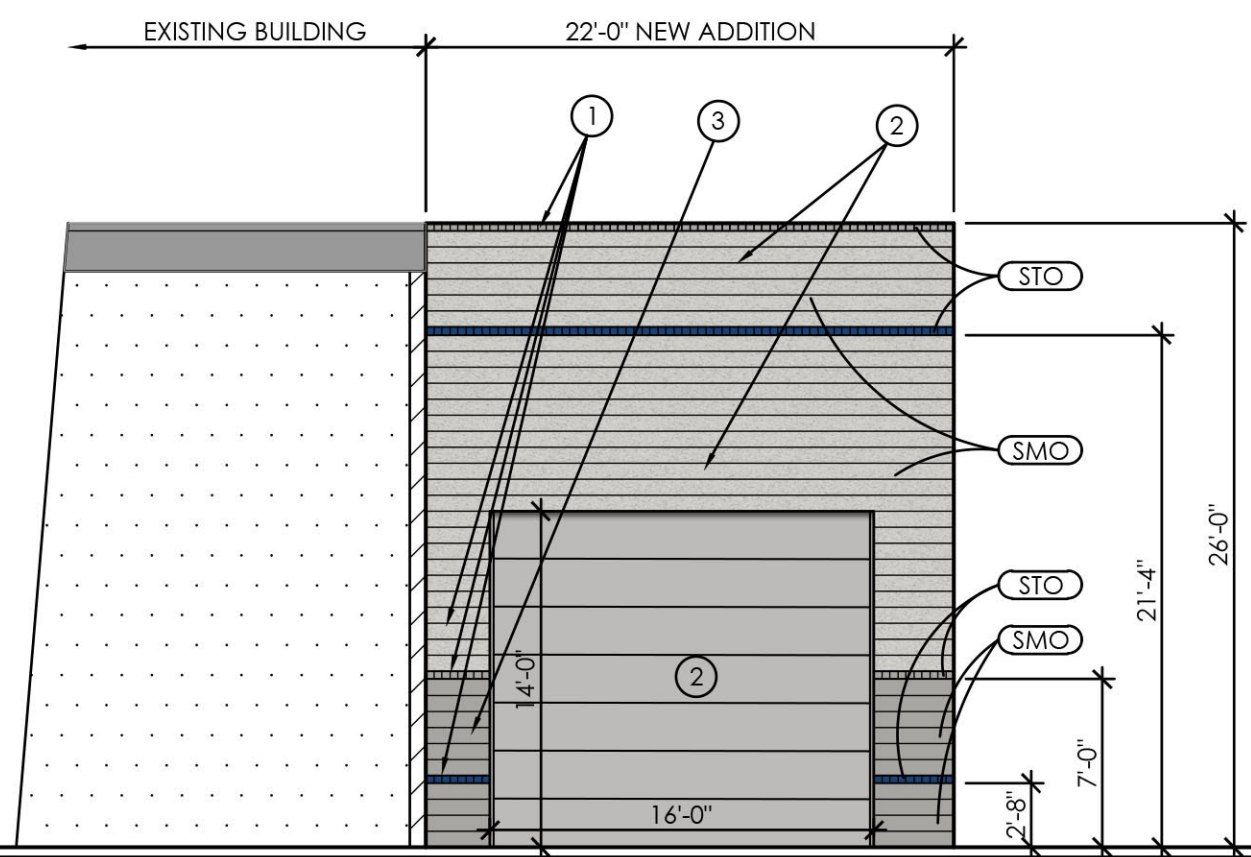
finnarchitects.com



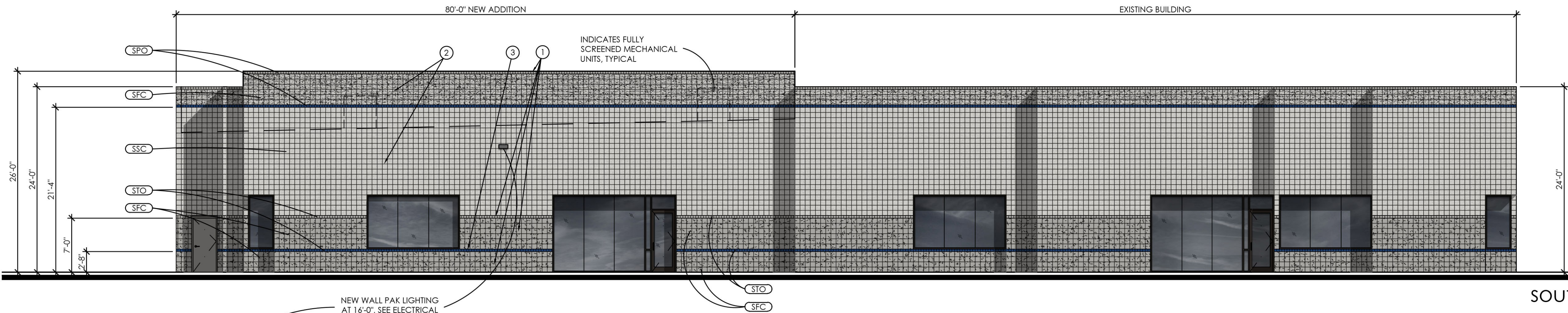




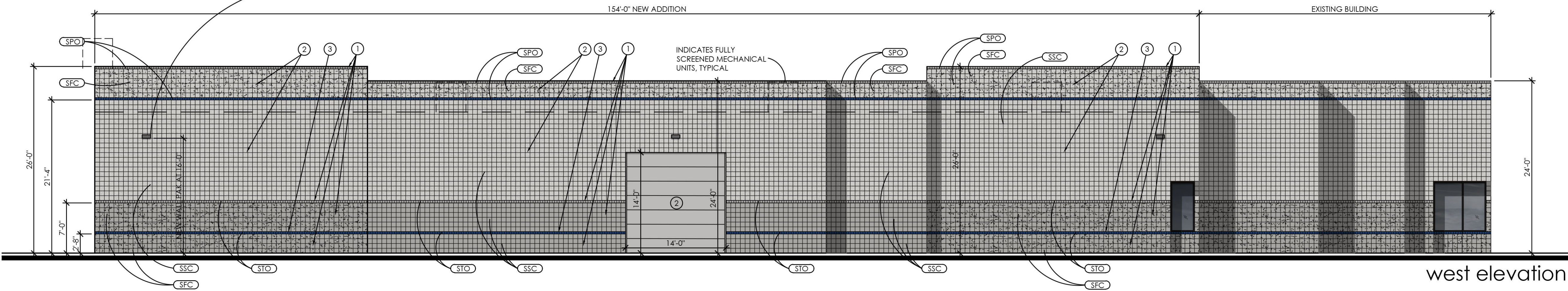
north elevation



east elevation



south elevation



west elevation

## MATERIAL LEGEND

- (SMO) SMOOTH FACE CMU - 8x8x16
- (STO) SMOOTH FACE TRIPLE SCORE CMU - 8x4x16
- (SPO) SPLIT FACE TRIPLE SCORE CMU - 8x4x16
- (SSC) SINGLE SCORE CMU - 8x8x16
- (SFC) SINGLE SCORE SPLIT FACE CMU - 8x8x16

## COLOR LEGEND

- ① DUNN EDWARDS - 'SHINING KNIGHT' DE6347
- ② DUNN EDWARDS - 'SILVER SPRINGS' DE6346
- ③ DUNN EDWARDS - 'DOVER STRAITS' DE5866

SEALANTS TO MATCH ADJACENT MATERIAL COLORS, WHITE OR OFF WHITE SEALANTS ARE NOT ALLOWED

PAINTER SHALL PROVIDE (2) COATS OF SEALER TO ALL NATURAL BLOCK, PRECAST CONCRETE ITEMS, CONCRETE AND NON-PAINTED SURFACES AND MATERIALS FOR A WEATHER SEALED PROJECT

PAINTER SHALL PROVIDE CMU, BLOCK, CONCRETE AND OTHER MATERIALS WITH FINISH, PAINT COLOR FOR REVIEW AND APPROVAL PRIOR TO APPLICATION - ANY PAINT FINISHES TO BE APPLIED TO THE ACTUAL BUILDING SHALL BE APPROVED PRIOR BY CONTRACTOR/ARCHITECT FOR LOCATION AND SIZE PRIOR TO APPLICATION

## STOREFRONT | GLAZING SPECIFICATION

### ALUMINUM STOREFRONT SYSTEM:

ARCADIA AFG451 2" X 4 1/2", CENTER GLAZED NON-THERMAL STOREFRONT

- DARK BRONZE FINISH
- 1" OVERALL GLAZING, SOLAR BAN REFLECTIVE GLAZING, SEE GLAZING BELOW

### 1" INSULATED GLAZING

- OUTBOARD: 1/4" PPG SOLARBAN R100 ON CLEAR #2
- AIR SPACE: 1/2" SPACER, AIR FILLED
- INBOARD: 1/4" CLEAR
- U-FACTOR = 0.0.29, SHGC = 0.23

## PLAN NOTES

SEE STRUCTURAL PLANS FOR LINTELS/INFORMATION

SEE STRUCTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS - WHERE CONTROL JOINTS OCCUR BENEATH WALL FINISH SYSTEMS, THE CONTROL JOINT AND WALL FINISH SHALL BE CARRIED THRU - PROVIDE MANUFACTURE APPROVED CONTROL JOINT TRIM, JOINTS AS APPLICABLE PER WALL FINISH

SEE FLOOR PLAN AND SCHEDULES FOR DOOR HEIGHTS, IN CMU WALLS CONFIRM FRAMES 'COURSE' WITH MODULAR CMU HEIGHTS

ALL CMU LINTELS ARE TO BE LINTEL BLOCKS, NO 2 CORE OR HOLLOW CMU ALLOWED

ALL ROOF DRAIN LEADERS ARE TO BE BRASS 'LAMBS' TONGUE, COMPLETE WITH TRIM RING - NO PVC ALLOWED

PRIOR TO PROCURING MATERIALS, CONTRACTOR SHALL PROVIDE SAMPLES OF ALL MATERIALS, COLORS FOR REVIEW AND APPROVAL BY ARCHITECT AND OWNER

ALL SAMPLES SHALL BE SUBMITTED FOR REVIEW AS A COMPLETE SUBMITAL AT ONE TIME. MATERIAL SAMPLES SHALL BE LARGE ENOUGH TO DEPICT THE FINISH, TEXTURE OF 12" SQUARE OR AS APPROPRIATE

## exterior elevations

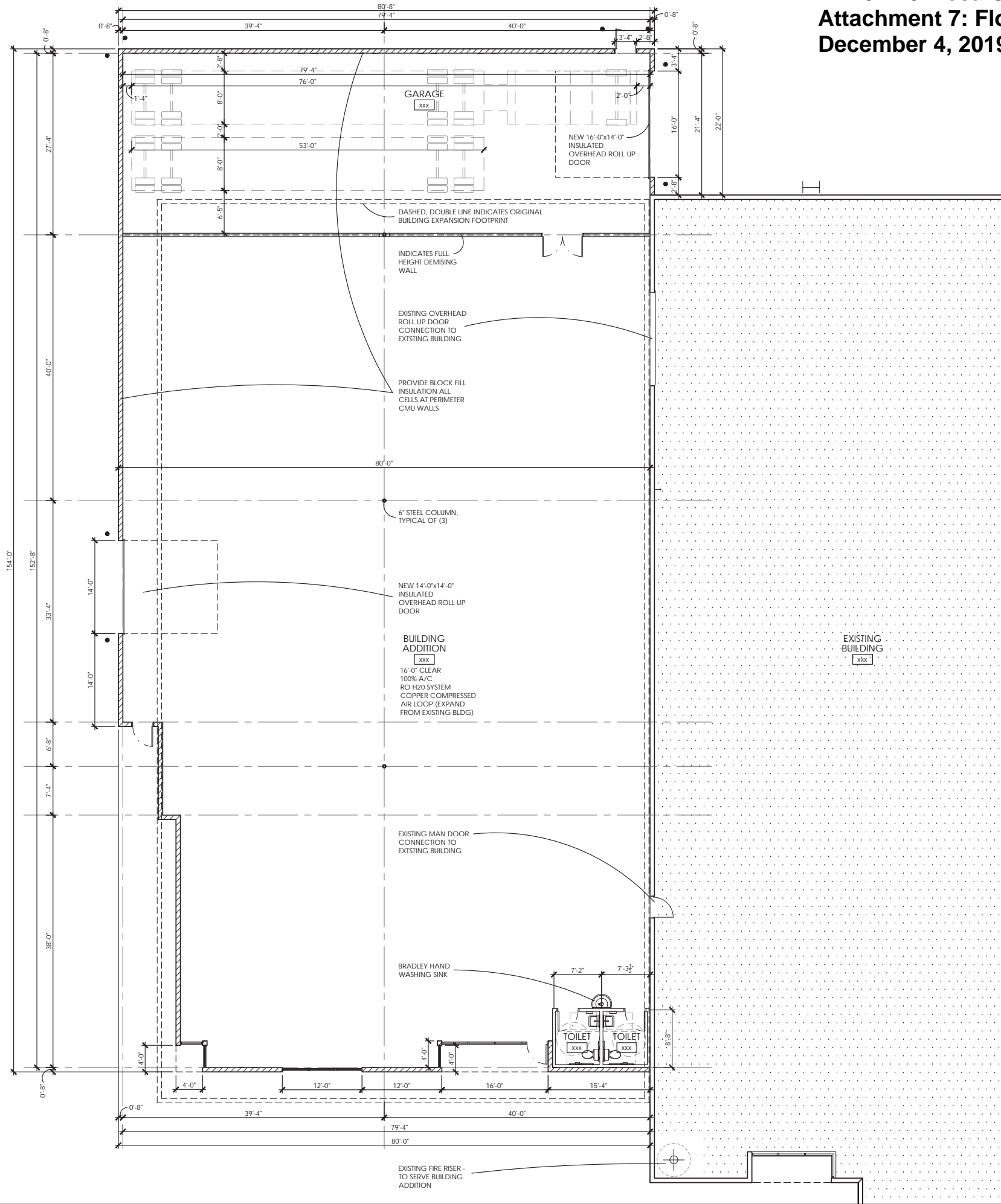
scale: 1/8"=1'-0"

the architectural design, conception and data presented herein represents an instrument of service provided in connection with the design build agreement for the exclusive use of FINN architects, llc. any other use or release of these drawings may result in civil damages.

this plan/site plan has been prepared without the benefit of a survey, depictions may not be accurate or fully reflect all dimensions, data, etc. which may affect the design and usability of this site. all design shown here is strictly conceptual.

july 10, 2019
schematic design
august 05, 2019 - r2
schematic design
august 22, 2019
pre-application
october 16, 2019
drb application





LEGEND

- CMU WALL
- DEMISING WALL
- INTERIOR PARTITION
- DOOR NUMBER, SEE DOOR SCHEDULE
- GLAZING, AS OCCURS
- 2A108C FIRE EXTINGUISHER MOUNTED ON WALL BRACKET AT 48" A.F.F.
- BUILDING SECTION TAG, SEE PLAN SET
- WALL SECTION TAG, SEE PLAN SET
- DETAIL TAG / SECTION KEY, SEE PLAN SET
- PARTITION TAG, SEE A8.1/A8.2 FOR TYPE/STYLE/DETAIL
- WINDOW ELEVATION TAG, SEE A4.1
- VERIFY CASEWORK, EQUIPMENT WITH OWNER FOR REQUIREMENTS
- ITEMS DEPICTED WITH DASHED LINES ARE FURNITURE AND/OR EQUIPMENT PROVIDED BY THE TENANT AND NOT IN THIS SCOPE, U.N.O.

PLAN NOTES

DIMENSIONS AS SHOWN IN THE DRAWINGS ARE TO THE CENTERLINE OF NEW INTERIOR PARTITION WALLS AND THE TO INSIDE FACE OF EXISTING PARTITIONS OR EXTERIOR WALLS/SYSTEMS, U.N.O.

COORDINATE WITH STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL FOR ALL STRUCTURAL EQUIPMENT AND/OR ITEMS FOR DIMENSIONS AND ADDITIONAL REQUIREMENTS

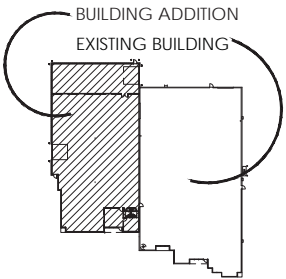
AT FLOORING MATERIALS CHANGE, LOCATE TRANSITION AT THE CENTERLINE OF THE DOOR. VERIFY WITH ARCHITECT FOR SPECIAL CASES PRIOR TO PLACEMENT. FLOAT FLOOR AS REQUIRED TO MANUFACTURER/INDUSTRY STANDARDS PRIOR TO INSTALLATION OF FLOOR MATERIALS

MAINTAIN A MINIMUM CLEAR, UNOBSTRUCTED EXIT WIDTH OF 48" TO ALL REQUIRED EXITS

ALL PARTITIONS/FURRING AT CONFERENCE AND TOILET ROOMS TO HAVE SOUND BATS, R-11 IN 3 5/8" STUDS AND R-19 IN 6" STUDS, U.N.O.

BLOCKING IS REQUIRED IN/BEHIND ALL WALL MOUNTED MILLWORK, DOOR STOPS, OTHER FURNITURE AND EQUIPMENT. ALL 2x WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED OR USE 6x16 GA METAL STRAPPING.

KEY PLAN



floor plan  
scale: 1/8"=1'-0"

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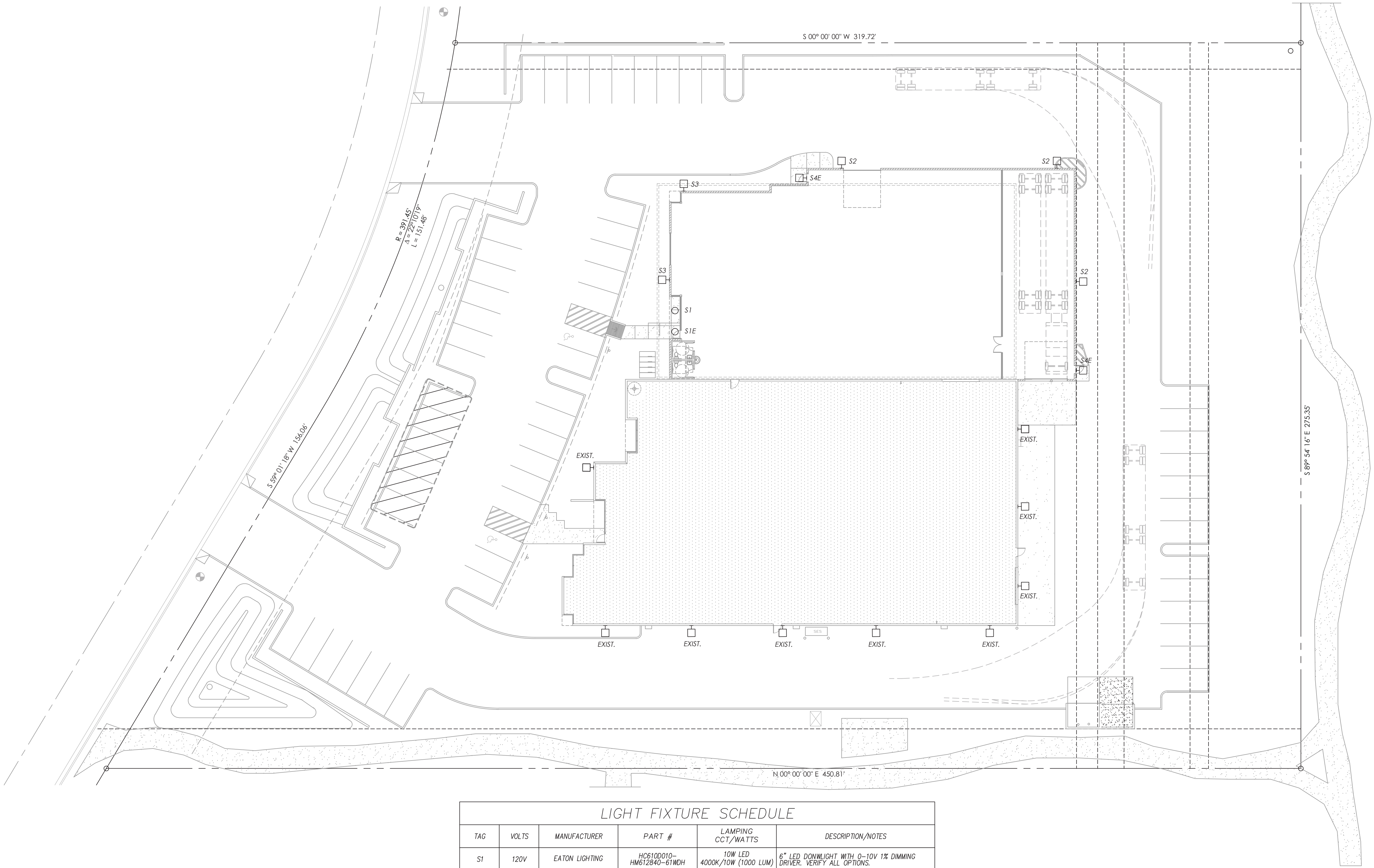


mesa custom machining corp.

1640 west sunrise boulevard,  
gilbert, arizona

• PRE-APP-PA19-84

PRELIMINARY  
NOT FOR  
CONSTRUCTION



LIGHT FIXTURE SCHEDULE					
TAG	VOLTS	MANUFACTURER	PART #	LAMPING CCT/WATTS	DESCRIPTION/NOTES
S1	120V	EATON LIGHTING	HC610D010- HM612840-61WDH	10W LED 4000K/10W (1000 LUM)	6" LED DOWNLIGHT WITH 0-10V 1% DIMMING DRIVER. VERIFY ALL OPTIONS.
S1E	120V	EATON LIGHTING	HC610D010-REM7 HM612840-61WDH	10W LED 4000K/10W (1000 LUM)	6" LED DOWNLIGHT WITH 0-10V 1% DIMMING DRIVER & 90-MINUTE EMERGENCY BATTERY BACK-UP. VERIFY ALL OPTIONS.
S2	120V	EATON MCGRAW	GWC-AF-01-LED- E1-SL3-BZ	59W LED 4000K/59W (6504 LUM)	BUILDING MOUNTED LED FIXTURE WITH 0-10V DIMMING DRIVER. VERIFY BRONZE COLOR & ALL OPTIONS. MOUNT @ 16'-0" AFG.
S3	120V	EATON MCGRAW	GWC-AF-01-LED- E1-T4W-BZ	59W LED 4000K/59W (6504 LUM)	BUILDING MOUNTED LED FIXTURE WITH 0-10V DIMMING DRIVER. VERIFY BRONZE COLOR & ALL OPTIONS. MOUNT @ 16'-0" AFG.
S4E	MVOLT	MULE LIGHTING	MERU-LED-ACEM-DB	17W LED 4000K/17W (1600 LUM)	BUILDING MOUNTED LED FIXTURE WITH 0-10V DIMMING DRIVER WITH 90-MINUTE EMERGENCY BATTERY BACK-UP. VERIFY BRONZE COLOR & ALL OPTIONS. MOUNT @ 16'-0" AFG.
SCHEDULE NOTES: 1. ALL EMERGENCY FIXTURE SHALL PROVIDE MINIMUM OF 90-MINUTE BATTERY BACK-UP. IF THE GENERAL LIGHTING IN THE AREA IS HID, ALL FIXTURES IN THE AREA SHALL HAVE A MINIMUM OF A 10-MINUTE TIME DELAY. 2. ELECTRICAL CONTRACTOR SHALL PROVIDE A BASE BID OFF THIS LIGHT FIXTURE SCHEDULE. ALTERNATES MAY BE SUBMITTED AFTER AWARD OF CONTRACT, PROVIDING THEY ARE SUBMITTED WITH WRITTEN OWNER APPROVAL AND ITEMIZED DEDUCT FROM THE BASE BID. ANY RE-DESIGN REQUIRED BY AN ALTERNATE PACKAGE SHALL BE BILLED TO THE ELECTRICAL CONTRACTOR. 3. MODULAR WIRING IS ACCEPTABLE.					



electrical site lighting plan

scale: 1" = 20'-0"

**WELCH & SANDON DESIGN, LLC**  
ELECTRICAL CONSULTING ENGINEERS  
PROJECT CONTACT: GABRIEL  
**WSD PROJECT# 18-0061**

4864 E. BASELINE ROAD, SUITE #103  
MESA, AZ 85206  
PHONE 480.641.6383  
www.welch-sandon.com

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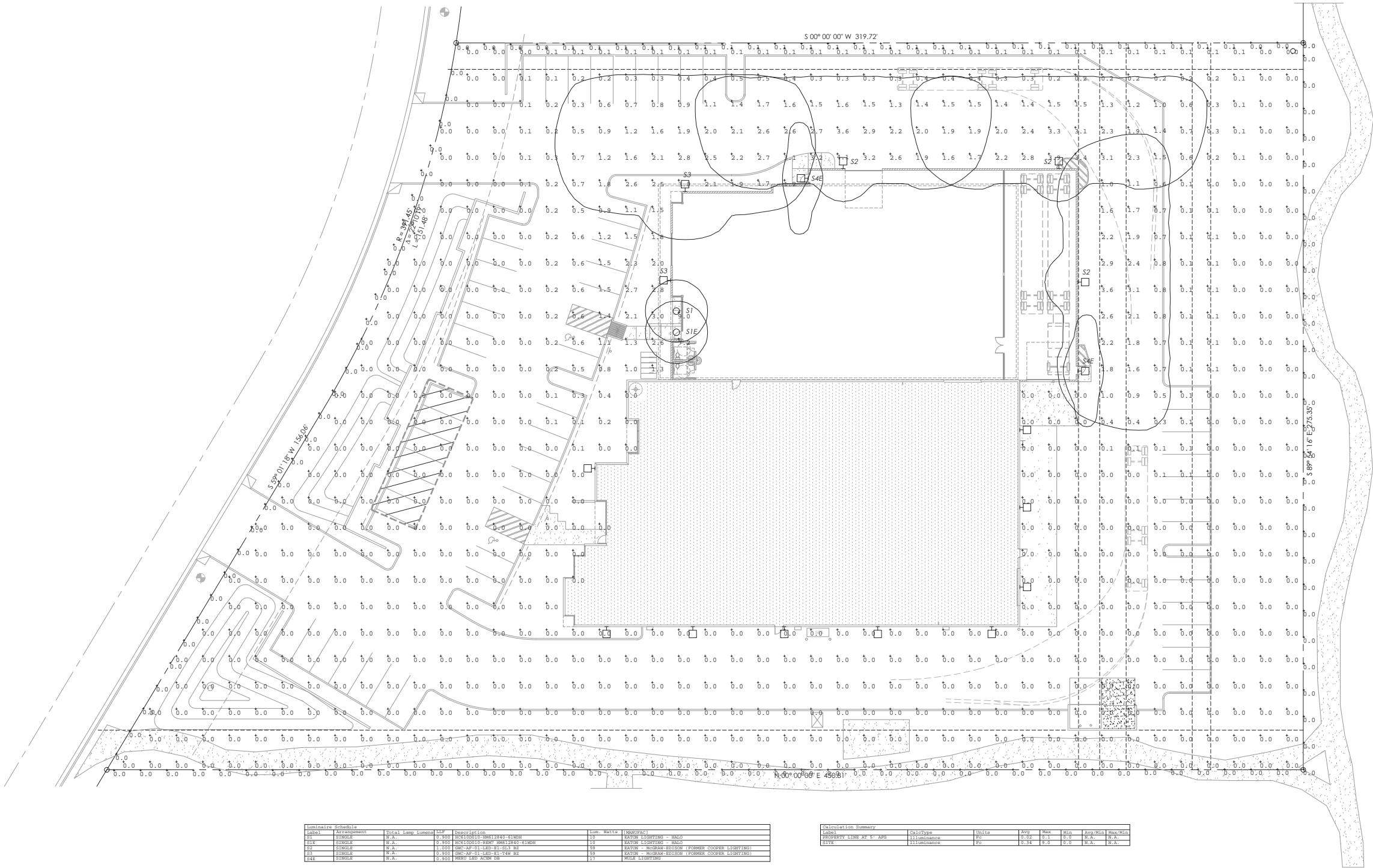
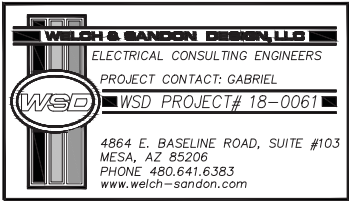
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CONSTRUCTION



Lumen Schedule	Label	Manufacturer	Total Lamp Lumens (LP)	Description	Qty	Notes	(MANUFACT)
S1	SINGLE	M.A.	0-300	RECYCLED-ALUMINUM-ROD	10		WAYNE LIGHTING - BACO
S2	SINGLE	M.A.	0-300	RECYCLED-ALUMINUM-ROD	10		WAYNE LIGHTING - BACO
S3	SINGLE	M.A.	0-300	RECYCLED-ALUMINUM-ROD	10		WAYNE LIGHTING - BACO
S4	SINGLE	M.A.	0-300	RECYCLED-ALUMINUM-ROD	10		WAYNE LIGHTING - BACO

Calculation Summary	Label	Qty/Type	Units	Min	Max	Avg	Min/Max	Max/Min
PROPERTY LINE AT 5' APS	illumination	FC		0.02	0.1	0.0	0.0	0.0
SITE	illumination	FC		0.04	0.0	0.0	0.0	0.0







